

SITE ASSESSMENT

Site details

Site Name	HM Prison, Latchmere Lane
Site No.	HP1
Site address / location	MH Latchmere House Prison, Church Road, Ham, Richmond, TW10 5HH
Description of site	Former prison site (also in neighbouring borough of Kingston)
Date of site visit	16.5.13 (did not enter site)
Grid reference	X: 518532; Y: 171340
Site area	22,525 sqm - site in Richmond borough 3.6 hectares in total (including in Kingston)
Site proposed by	Officers
Ownership (if known)	Berkeley Homes

Site map with aerial photograph



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Land use details

Existing use and buildings	Decommissioned Ministry of Justice (MoJ) site, most recently used as a resettlement prison, use class C2A with occasional community use on the ground floor of Latchmere House, which closed in 2011 and the site is surplus to MoJ requirements. There is a BTM and a number of low rise buildings interspersed by a hard court recreation area and surrounded by green amenity spaces.	
Is the site vacant?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Is the site derelict?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Occupancy rate	<input type="checkbox"/> occupied <input type="checkbox"/> under-occupied <input checked="" type="checkbox"/> un-occupied	
Other comments		

Site history

Planning application history	Extensive planning history related to use as a prison, including extensions and alterations, tree works, for uses such as library, car parking, doctors surgery etc. Application received Feb 2014.
Section 106	No

Constraint and opportunities – Land uses

Constraint/opportunity	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Commentary
UDP/LDF site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Planning brief adopted (March 2013)
Public Open Space	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Public Open Space Deficient	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Other Open Land of Townscape Importance	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
River Thames Policy Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
River Crane Opportunity Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Potentially contaminated land	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Area of relative disadvantage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Public Rights of Way	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Other, e.g pylons	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Constraint and opportunities – Key services and accessibility

Constraint/opportunity	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Commentary
Employment use	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Town Centre Boundary	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Area of Mixed Use	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Key shopping frontage	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Secondary shopping frontage	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Frontage/area subject to specific restrictions	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
PTAL Level	Level 1a	1a Low
Within 400 metres ⁺ to an Area of Mixed Use	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Note 100 metres to the south of the site in Kingston is the designated local shopping centre, Tudor Drive.
Within 400 metres ⁺ to a main Town Centre	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Within 1 km of a primary school*	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	(not within Richmond borough)
Within 3 km of a secondary school*	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Grey Court School, Teddington School
Within 1 km of a GP surgery	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	(not within Richmond borough)
Any access constraints	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Planning Brief identifies concerns about impacts on road congestion and safety and amenity, particularly on Church Road. The creation of new vehicular access points also raised safety and amenity considerations.

Constraint and opportunities – Environmental designations

Constraint/opportunity		Commentary
Flood zone and 20m EA buffer zone to rivers	1 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 3a <input type="checkbox"/> 3b <input type="checkbox"/>	
Metropolitan Open Land	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Green Belt / Major Developed Site in GB	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Historic Parks & Gardens	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Tree Preservation Orders	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Number of individual TPOs and for Wood Group Area
SSSI	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Other Site of Nature Importance	Yes <input type="checkbox"/> No <input type="checkbox"/>	
Conservation Area	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	CA7 Ham Common covers north eastern part
Listed Building(s)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Building(s) of	Yes <input checked="" type="checkbox"/>	13/00001/BTM. Latchmere House. Extensive former 19th century residential

⁺ as the crow flies

⁺ as the crow flies

* Excluding private schools, free schools etc.

Townscape Merit	No <input type="checkbox"/>	property, on the edge of the site, link to the historical role of the site during the two world wars.
Archaeological Priority Area	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	DLO33495. Ham Common.

Surrounding land

Surrounding land uses	Within established residential area. Bordering Ham Common and Richmond Park.
Relevant surrounding designations	Adjoins Ham Common - designated Metropolitan Open Land, Public Open Space and an Other Site of Nature Importance.
Commentary on relationship with nearby and other proposal sites	Near to Area of Disadvantage for wider Ham area (Policy CP13) which identifies need for improvements to public transport and community uses - see Site HP2 (Ham Central Area) for further details. Note within application for designation of Ham & Petersham Neighbourhood Forum and Area.

Summary and Overview

Summary of assessment:

Adopted Planning Brief (2013) sets out a vision for a mix of family housing, community uses and open space as a comprehensive residential led development.

Information from Sustainability Appraisal:

Overall positive impacts. There would however be impacts on local transport provision and road network, particularly with intensified uses as it is in a very poor PTAL , which would require mitigation. New open spaces – would depend on the detailed design of a scheme and how it would impact upon the Conservation Area, POS, OSNI and MOL etc. Mitigation would need to take account of cumulative impacts on local area, amenity and neighbouring properties due to a large increase in uses on this site.

Council's preferred use and justification (pre-publication):

Proposal

Comprehensive redevelopment , residential led scheme, including affordable, possibly community and or educational use, open space.

Justification

Site is within LB Richmond and RB Kingston and the development should be fully comprehensive. An opportunity to make provision for family housing, including affordable housing. Retention of Latchmere House and areas of open space. Some level of community use may be appropriate. Design and other issues to be in accordance with the adopted Planning Brief.

Proposal for publication:

Proposal

Comprehensive redevelopment , residential led scheme, including affordable, possibly community and or educational use, open space.

Justification

Site is within LB Richmond and RB Kingston and the development should be fully comprehensive. An opportunity to make provision for family housing, including affordable housing. Retention of Latchmere House and areas of open space. Some level of community use may be appropriate. Design and other issues to be in accordance with the adopted Planning Brief.

SITE ASSESSMENT

Site details

Site Name	Ham Central Area
Site No.	HP2
Site address / location	
Description of site	Potential for regeneration around the Ham Close Estate
Date of site visit	16.5.13
Grid reference	X: 517176; Y: 172365
Site area	46,129 sqm
Site proposed by	Officers
Ownership (if known)	Multiple including Council, Richmond Housing Partnership, and other public and private landowners

Site map with aerial photograph



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Land use details

Existing use and buildings	Residential, Local Centre and other community uses, open areas	
Is the site vacant?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Is the site derelict?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Occupancy rate	<input checked="" type="checkbox"/> occupied <input type="checkbox"/> under-occupied <input type="checkbox"/> un-occupied	
Other comments	Potential for intensification and co-location of community uses	

Site history

Planning application history	n/a for wider area
Section 106	n/a

Constraint and opportunities – Land uses

Constraint/opportunity		Commentary
UDP/LDF site	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	P1 Meadlands School: use of playground out of school hours P3 Grey Court School: improvement of school premises, increased public use of school facilities including school hall P4 King George's Pavilion: housing/employment/community use.
Public Open Space	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Open Space Back Lane
Public Open Space Deficient	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Other Open Land of Townscape Importance	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Open Space Back Lane St Richard & St Andrew CofE Primary School Meadlands Primary School (part) Landscaped areas adjoining residential properties along Riverside Drive
River Thames Policy Area	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
River Crane Opportunity Area	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Potentially contaminated land	Yes <input type="checkbox"/> No <input type="checkbox"/>	May affect individual sites within wider area
Area of relative disadvantage	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Area of Disadvantage for wider Ham area (Policy CP13) which identifies need for improvements to public transport and community uses
Public Rights of Way	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Other, e.g pylons	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

Constraint and opportunities – Key services and accessibility

Constraint/opportunity		Commentary
Employment use	Yes <input type="checkbox"/> No <input type="checkbox"/>	May affect individual sites within wider area
Town Centre Boundary	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Area of Mixed Use	Yes <input type="checkbox"/>	

	No <input checked="" type="checkbox"/>	
Key shopping frontage	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Ashburnham Road Nos. 171-185 (odd) Ashburnham Road Nos. 2-16 (even) Ham Street Nos. 63-71 (odd)
Secondary shopping frontage	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Back Lane Nos. 4-14 (even)
Frontage/area subject to specific restrictions	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
PTAL Level	Level 1a	Low
Within 400 metres ⁺ to an Area of Mixed Use	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Within 400 metres ⁺ to a main Town Centre	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Within 1 km of a primary school*	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Meadlands Primary School, Russell Primary School, St Richards with St Andrews CE Primary School
Within 3 km of a secondary school*	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Grey Court School, Christs School, Teddington School
Within 1 km of a GP surgery	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Blake-James (Ham)
Any access constraints	Yes <input type="checkbox"/> No <input type="checkbox"/>	May be part of wider consideration, also including parking, servicing

Constraint and opportunities – Environmental designations

Constraint/opportunity		Commentary
Flood zone and 20m EA buffer zone to rivers	1 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 3a <input type="checkbox"/> 3b <input type="checkbox"/>	
Metropolitan Open Land	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Green Belt / Major Developed Site in GB	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Historic Parks & Gardens	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Tree Preservation Orders	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
SSSI	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Other Site of Nature Importance	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Conservation Area	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Ham House Conservation Area extends to north eastern edge
Listed Building(s)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Building(s) of Townscape Merit	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

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* Excluding private schools, free schools etc.

Archaeological Priority Area	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
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Surrounding land

Surrounding land uses	Residential and open spaces, see more details below
Relevant surrounding designations	<p>The residential area is surrounded by large areas of protected open land and the River Thames corridor, much of this land is also public open space and/or of nature conservation interest.</p> <p>Ham Lands is a Local Nature Reserve and Richmond Park a Site of Special Scientific Interest and National Nature Reserve with a high level of protection. The area around Ham House is a protected historic landscape.</p> <p>There are conservation areas at Petersham, Ham Common, Ham House, Richmond Park and the Parkleys Estate. Ham House is an important Grade 1 Listed Building. Ham Common Parade is a local centre.</p> <p>St Richards Church, Ashburnham Road is a Building of Townscape Merit.</p>
Commentary on relationship with nearby and other proposal sites	Note within application for designation of Ham & Petersham Neighbourhood Forum and Area.

Summary and Overview

Summary of assessment:

Ham Uplift (part of Phase One) proposes total redevelopment of the area which could include a new community hub, enhanced open space, new housing and improvements to the old housing stock and better library and health facilities. There is to be a specific consultation in October on various options including do nothing

Information from Sustainability Appraisal:

n/a As this Proposal Site is to be subject to a more detailed consultation exercise, the results of that consultation will be fed into this Plan. The detailed work on this site and the various options will be subject to a separate process.

Council's preferred use and justification (pre-publication):

Richmond Council and Richmond Housing Partnership have been in discussion about the rejuvenation of Ham Close and the surrounding area. The Council are now considering a range of options from the refurbishment of existing buildings through to possible redevelopment. This may include changing the form and shape of the open space to bring about regeneration of the wider area. Development proposals will need to take account of local character and relevant planning designations.

As this is to be subject to a more detailed consultation exercise, the results of that consultation will be fed into this Plan. Details of this consultation will be made available shortly.

Proposal for publication:

SITE ASSESSMENT

Site details

Site Name	Cassel Hospital
Site No.	HP 3
Site address / location	1 Ham Common, Richmond, TW10 7JF
Description of site	Hospital and grounds
Date of site visit	16.5.13
Grid reference	X: 517657; Y: 171727
Site area	39,753 sqm
Site proposed by	West London Mental Health Trust (submitted by Nathaniel Lichfield & Partners)
Ownership (if known)	West London Mental Health Trust

Site map with aerial photograph



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Land use details

Existing use and buildings	C2 (Residential Institutions). Part three/part four storey building (originally a private dwelling) with a floorspace of 4,127 sqm (GIA) in extensive grounds. Provides an Emerging Severe Personality Disorder Service (ESPD) - a national specialist assessment and treatment services for young people and adults with complex personality disorders, using a therapeutic community model (a unique national service, resulting in patients coming from all
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	across the country).	
Is the site vacant?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Currently only 1,691sqm (41%) of the building is in active use. The remaining floorspace is vacant and has been since last 2011, when the majority of the site became surplus to requirements following a reduction of the services provided. The WLMHT has no ongoing requirement to occupy the vacant parts of the building for clinical services and nor does it require its extensive grounds; it can no longer sustain the financial costs of maintaining predominantly vacant and listed premises. Accordingly, it has placed the redundant parts of the building and grounds on the Register of Surplus Public Sector Land. The WLMHT does not intend to relocate the ESPD service, but it will be rationalised within the site to ensure that vacant parts are made available for redevelopment.
Is the site derelict?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Occupancy rate	<input checked="" type="checkbox"/> occupied <input type="checkbox"/> under-occupied <input type="checkbox"/> un-occupied	
Other comments		

Site history

Planning application history	Extensive, many relating to trees, alterations such as entrances, outbuildings, extensions etc, in relation to hospital use. Note relevant applications related to redevelopment: 99/0164 Development Of 'site B' For A Single Residential Dwelling. -decided as no further action be taken 26-May-1999 99/0167 Development Of 'site B' For Three Residential Flats (three Three Bed) - refused permission 28-Mar-2000 99/0168 Development Of 'site B' For Three Residential Flats (3x3 Bed). - decided as no further action be taken 26-May-1999 99/0161 Redevelopment Of 'site A' For 14 Residential Flats (3x1 Bed, 3x2 Bed, 7x3 Bed And 1x4 Bed). - refused permission 06-Jul-2000. Appeal allowed on 21-Feb-2001 93/1680/OUT Proposed Residential Development On Part Of Grounds. - withdrawn by the applicant 27-Sep-1994
Section 106	n/a

Constraint and opportunities – Land uses

Constraint/opportunity		Commentary
UDP/LDF site	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Public Open Space	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Public Open Space Deficient	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Other Open Land of Townscape Importance	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	The Cassel Hospital
River Thames Policy Area	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
River Crane Opportunity Area	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Potentially contaminated land	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	1950. 2004. R/785/03. Hospital. Ham Street, Ham. Cassell Hospital.
Area of relative disadvantage	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Area of Disadvantage for wider Ham area (Policy CP13) which identifies need for improvements to public transport and community uses
Public Rights of Way	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Other, e.g pylons	Yes <input checked="" type="checkbox"/>	The old Victorian Gardens to rear of grounds are overgrown, there is still an

	No <input type="checkbox"/>	old barn (which has access out of rear of the site). Badger setts present.
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Constraint and opportunities – Key services and accessibility

Constraint/opportunity		Commentary
Employment use	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Town Centre Boundary	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Area of Mixed Use	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Key shopping frontage	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Secondary shopping frontage	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Frontage/area subject to specific restrictions	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
PTAL Level	Level 1b	Very poor (majority, top north eastern corner falls to 1a)
Within 400 metres ⁺ to an Area of Mixed Use	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Within 400 metres ⁺ to a main Town Centre	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Within 1 km of a primary school*	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Meadlands Primary School, St Richards with St Andrews CE Primary School
Within 3 km of a secondary school*	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Grey Court School, Teddington School
Within 1 km of a GP surgery	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Blake-James (Lock Road, Ham)
Any access constraints	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

Constraint and opportunities – Environmental designations

Constraint/opportunity		Commentary
Flood zone and 20m EA buffer zone to rivers	1 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 3a <input type="checkbox"/> 3b <input type="checkbox"/>	
Metropolitan Open Land	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Green Belt / Major Developed Site in GB	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Historic Parks & Gardens	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Tree Preservation Orders	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
SSSI	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

⁺ as the crow flies

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* Excluding private schools, free schools etc.

Other Site of Nature Importance	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Conservation Area	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	CA7 Ham Common
Listed Building(s)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	10/01/1950. II. The Cassel Hospital (House) Ham Common Ham Surrey . The Cassel Hospital.
Building(s) of Townscape Merit	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Archaeological Priority Area	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	DLO33461. Ham.

Surrounding land

Surrounding land uses	Residential to south and west, common to north east, shopping parade nearby along Upper Ham Road
Relevant surrounding designations	MOL, Public Open Space, OSNI to north/east - Ham Common West Secondary/Key Shopping Frontage along Upper Ham Road to south
Commentary on relationship with nearby and other proposal sites	Near to Area of Disadvantage for wider Ham area (Policy CP13) which identifies need for improvements to public transport and community uses - see Site HP2 (Ham Central Area) for further details. Note within application for designation of Ham & Petersham Neighbourhood Forum and Area

Summary and Overview

Summary of assessment:

This site is designated Other Open Land of Townscape Importance (OOLTI) and a designated Other Site of Nature Importance; the site has badger setts present. It is also within a Conservation Area and the main building is a Listed Building. The site has a very poor PTAL rating.

As part of the Call for Sites consultation, the landowners has proposed to accommodate new housing within the existing C2 residential institution and within the grounds (the owner estimates that 123-332 dwellings could be delivered).

The site is protected by OOLTI and OSNI designation against any inappropriate development. The proposed residential use in the grounds would be contrary to OOLTI policy (DM OS 3) and the Council's biodiversity policies (i.e. CP 4). The protection of open land is very important in this borough and therefore this proposal could not be justified as it is the Council's policy to protect open land. In addition, the Council has identified sufficient land to meet its housing target and therefore does not consider that the proposed use would provide sufficient benefit to outweigh these key policies.

In addition, the owner has previously tried to remove the OOLTI designation as part of the Development Management Plan (DMP), but the Examiner into the DMP in 2011 agreed with the Council that this land should remain as OOLTI. He concluded that Cassel Hospital is very open, contributes to the local character by virtue of its size, position and quality and is of biodiversity value. As such, it can be soundly designated as OOLTI.

Information from Sustainability Appraisal:

If the site is declared surplus to requirements, it is considered that redeveloping and converting the existing buildings for residential, community and educational uses is in the long-term a sustainable option.

However, it is a very sensitive site with very limited development opportunities and potential for intensified uses. Any proposals for a conversion need to be very sensitively designed, take account of the historic environment and ensure that there will not lead to any harm to the adjacent and nearby open land and biodiversity designations. There should be no new development on designated OOLTI and any proposal needs to ensure that

it will conserve and enhance the on-site biodiversity. Some identified negative impacts would need to be mitigated, for example, a school travel plan should be required to ensure there are no harmful impacts on the local road network and parking provision

Council's preferred use and justification (pre-publication):

Proposal

Conversion of buildings to residential (including affordable units) and education and/or community uses

Justification

Should the Hospital become surplus to requirement, the listed building is to be converted to residential and education and/or community uses with an appropriate level of affordable units. The grounds to the rear are designated as both Other Site of Nature Importance and Other Open Land of Townscape Importance and development on this area would not be acceptable. The restoration would need to protect and enhance the listed buildings and conservation area and their settings, as well as taking account of the adjoining Ham Common which is Metropolitan Open Land and also an Other Site of Nature Importance. The education provision would need to take into account any provision on the St Michael's Convent site (HP 4) if this is brought forward earlier.

Proposal for publication:

Proposal

Conversion of buildings to residential (including affordable units) and education and/or community uses

Justification

Should the Hospital become surplus to requirement, the listed building is to be converted to residential and education and/or community uses with an appropriate level of affordable units. The grounds to the rear are designated as both Other Site of Nature Importance and Other Open Land of Townscape Importance and development on this area would not be acceptable. The restoration would need to protect and enhance the listed buildings and conservation area and their settings, as well as taking account of the adjoining Ham Common which is Metropolitan Open Land and also an Other Site of Nature Importance. The education provision would need to take into account any provision on the St Michael's Convent site (HP 4) if this is brought forward earlier.

SITE ASSESSMENT

Site details

Site Name	St Michael's Convent
Site No.	HP 4
Site address / location	56 Ham Common, Ham, Richmond, TW10 7JH
Description of site	Convent
Date of site visit	
Grid reference	X: 517719; Y: 172227
Site area	15,504 sqm
Site proposed by	Council officers
Ownership (if known)	

Site map with aerial photograph



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Land use details

Existing use and buildings	This is a Grade II listed building, located within the Ham Common Conservation Area, occupied as a convent.
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Is the site vacant?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Is the site derelict?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Occupancy rate	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> under-occupied <input type="checkbox"/> un-occupied
Other comments		

Site history

Planning application history	Relevant history: 11/3087/FUL - Rebuild damaged entrance piers plus widen access. Permission granted. 78/1511 - Erection of an extension to provide a lift shaft. Permission granted.
Section 106	n/a

Constraint and opportunities – Land uses

Constraint/opportunity		Commentary
UDP/LDF site	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Public Open Space	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Public Open Space Deficient	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Other Open Land of Townscape Importance	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
River Thames Policy Area	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
River Crane Opportunity Area	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Potentially contaminated land	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Area of relative disadvantage	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Area of Disadvantage for wider Ham area (Policy CP13) which identifies need for improvements to public transport and community uses
Public Rights of Way	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Other, e.g pylons	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	The grounds to the rear do not have any protective open land designations, although it can be assumed that OOLTI policy DM OS 3 would be applied to any proposals that could affect the gardens; it is also expected that the gardens to the rear are of high biodiversity value.

Constraint and opportunities – Key services and accessibility

Constraint/opportunity		Commentary
Employment use	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Town Centre Boundary	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Area of Mixed Use	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Key shopping frontage	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Secondary shopping	Yes <input type="checkbox"/>	

frontage	No <input checked="" type="checkbox"/>	
Frontage/area subject to specific restrictions	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
PTAL Level	Level 1b	Very poor
Within 400 metres ⁺ to an Area of Mixed Use	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Within 400 metres ⁺ to a main Town Centre	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Within 1 km of a primary school*	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Meadlands Primary School, St Richards with St Andrews CE Primary School
Within 3 km of a secondary school*	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Grey Court School Teddington School, Orleans Park School (both across the River)
Within 1 km of a GP surgery	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Blake-James (Lock Road, Ham)
Any access constraints	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

Constraint and opportunities – Environmental designations

Constraint/opportunity		Commentary
Flood zone and 20m EA buffer zone to rivers	1 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 3a <input type="checkbox"/> 3b <input type="checkbox"/>	
Metropolitan Open Land	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Green Belt / Major Developed Site in GB	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Historic Parks & Gardens	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Tree Preservation Orders	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
SSSI	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Other Site of Nature Importance	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Conservation Area	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	CA7 Ham Common
Listed Building(s)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	10/01/1950. II. St Michaels Convent, 56 Ham Common 25/06/1983. II. Vine Cottage, Ham Common
Building(s) of Townscape Merit	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Archaeological Priority Area	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	DLO33461. Ham.

Surrounding land

Surrounding land uses	Ham Common to the south; residential uses to the north, east and also a few to the west
Relevant	MOL, Public Open Space, OSNI to the south - Ham Common West

⁺ as the crow flies

⁺ as the crow flies

* Excluding private schools, free schools etc.

surrounding designations	Adjacent to Ham House protected vista
Commentary on relationship with nearby and other proposal sites	Cassel Hospital to the south; Ham Central Area to the west Near to Area of Disadvantage for wider Ham area (Policy CP13) which identifies need for improvements to public transport and community uses - also see Site HP 2 (Ham Central Area) for further details. Within designated Ham & Petersham Neighbourhood Area

Summary and Overview

Summary of assessment:

This site has two Grade II listed buildings (including St Michael's Convent and Vine Cottage); it is also within a Conservation Area, adjacent to Ham Common and the protected Ham House vista. The large grounds to the rear do not have any protective open land designations, such as MOL or OOLTI; however, the OOLTI policy would be applied on this site. The site has a very poor PTAL rating.

Information from Sustainability Appraisal:

If the site is declared surplus to requirements, it is considered that converting the existing buildings for residential, community and educational uses is in the long-term a sustainable option. Due to the presence of two Grade II listed buildings, any redevelopment or conversion has to be carefully designed to take account of the historic environment and the setting of the listed buildings and Conservation Area. The grounds to the rear are not protected by designations such as MOL or OOLTI. It is also anticipated that the gardens to the rear are of high biodiversity value. It should be investigated if the open land to the rear can be protected as OOLTI.

Council's preferred use and justification (pre-publication):

Proposal

Conversion of buildings to residential (including affordable units) and education and/or community uses

Justification

Should the Convent become surplus to requirement, the listed buildings are to be converted to residential and education and/or community uses with an appropriate level of affordable units. The grounds to the rear are designated as Other Open Land of Townscape Importance and development on this area would not be acceptable. The conversion would need to protect and enhance the listed buildings and conservation area including their settings, as well as taking account of the adjoining Ham Common, which is both Metropolitan Open Land and also an Other Site of Nature Importance. The education provision would need to take into account any provision on the Cassel Hospital (HP 3) site if this is brought forward earlier.

Proposal for publication:

Proposal

Conversion of buildings to residential (including affordable units) and education and/or community uses

Justification

Should the Convent become surplus to requirement, the listed buildings are to be converted to residential and education and/or community uses with an appropriate level of affordable units. The grounds to the rear are designated as Other Open Land of Townscape Importance and development on this area would not be acceptable. The conversion would need to protect and enhance the listed buildings and conservation area including their settings, as well as taking account of the adjoining Ham Common, which is both Metropolitan Open Land and also an Other Site of Nature Importance. The education provision would need to take into account any provision on the Cassel Hospital (HP 3) site if this is brought forward earlier.